

M A N C H E S T E R

101

Barbieroli Sq.

PRESTIGE
CONNECTIVITY
DESIRABILITY



New, remodelled entrance with double-height reception



Central atrium with feature balconies



Highly-efficient, open plan office areas



Excellent natural light to all areas of each floor



Extensive cycle storage and on-site car parking



High-quality male, female and disabled changing and locker facility with separate drying room



1 minute from St Peter's Square Metrolink station



YOUR TIME IS NOW

One of Manchester's most prestigious buildings has had its grandeur restored. 101 Barbirolli Square first found fame as an aspirational address for high-fliers, market-leaders and world-beaters. Now a refurbishment has re-established the building's stature for the 21st Century.



ENTER MODERN ELEGANCE

Overseen by award-winning Manchester architects 5plus, the refurbishment of **101 Barbirolli Square** is an object lesson in breathing new life into a space.

Updates to the entrance ensure that 101 Barbirolli Square's stylishness makes an impression before you – or your clients – have even walked through the door. Once inside, you're greeted by a reception area steeped in understated elegance.

A client lounge is separated from the main reception area by a series of full-height bronze bars, creating privacy while still maintaining a connection to the wider surroundings.



THE METHODOLOGY OF MINIMALISM

“ The finishes at 101 Barbirolli Square combine high-quality materials with simple, immaculate detailing that follows a refined and restrained colour palette. ”

5plus Architects



NEIGHBOURHOOD DELUXE

IN GOOD COMPANY

The immediate vicinity is home to a number of blue-chip occupiers including;



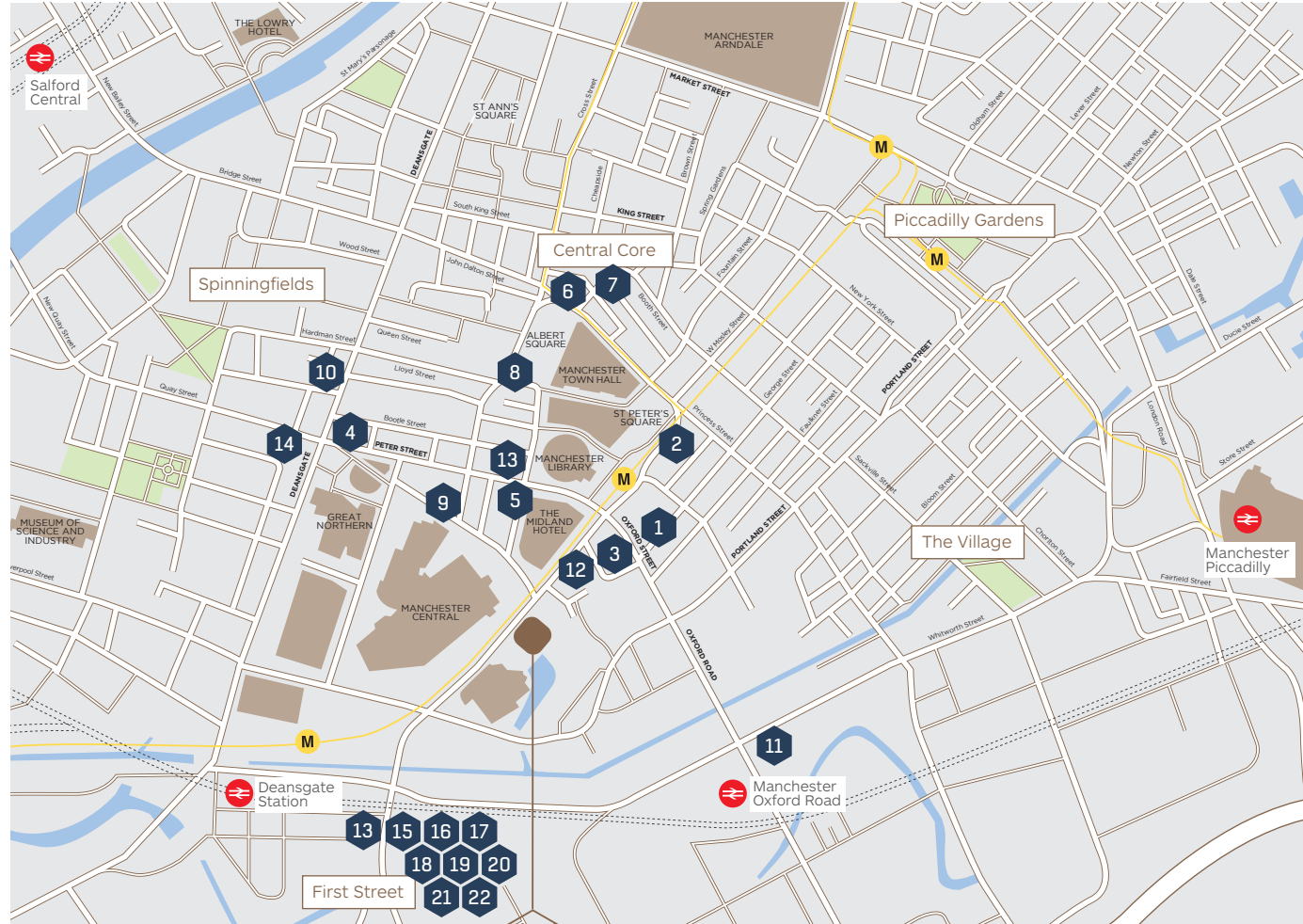
To **101 Barbirolli Square's** immediate west is Manchester Central, a world-class conference centre and a local landmark.

To its north is St. Peter's Square, now emerging from a three-year, £30 million redevelopment scheme that has transformed it into the most well-connected point in the city – wherever you need to be, there's now no better point from which to start your journey.

To its immediate south is Bridgewater Hall, home to the BBC Philharmonic Orchestra.

101 Barbirolli Square's immediate vicinity is home to everything you and your team could ever need. Morning croissants, lunchtime sushi or evening cocktails are all within easy reach; you're at the epicentre of the city's art and culture scene; and neighbourhood retail options range from inexpensive to exclusive. You're also within short-walking distance of bustling Deansgate, glossy Spinningfields and the eternally cool Northern Quarter.

LINKED TO EVERYTHING, MISSING OUT ON NOTHING

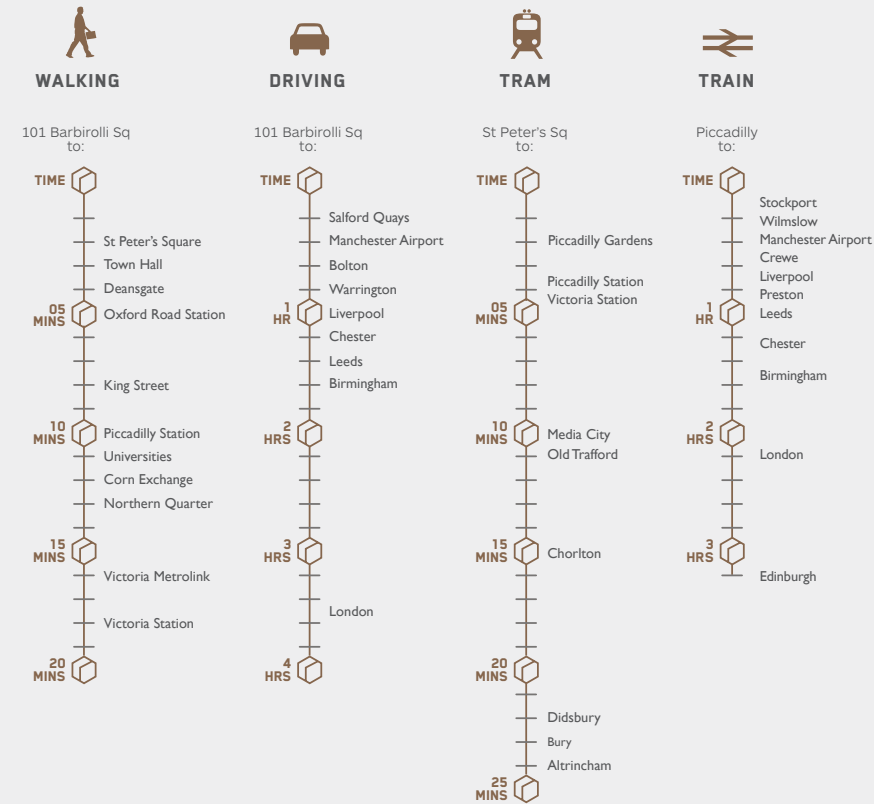


101 Barbirolli Square

- | | | | |
|-------------------------------|-------------------------|-------------------|------------------------|
| 1. Fumo, San Carlo | 7. Croma | 13. Starbucks | 19. Indian Tiffin Room |
| 2. Wagamama | 8. Albert's Chop House | 14. Tesco Express | 20. The Laundrette |
| 3. Giovanni's | 9. Steak & Lobster | 15. HOME | 21. Pizza Express |
| 4. Albert's Schloss | 10. Hawksmoor | 16. INNSIDE Hotel | 22. Wood Restaurant |
| 5. Mr Cooper's House & Garden | 11. The Refuge by Volta | 17. Gasworks | |
| 6. Caffé Grand Piccolino | 12. Costa Coffee | 18. Liquor Store | |



There are very few spaces in Manchester as well-connected as 101 Barbirolli Square. You're just moments from St. Peter's Square, through which every Metrolink line runs – including the Second City Crossing, connecting the square to Victoria Station. Trams, trains and even planes are readily and seamlessly accessible with minimum fuss.

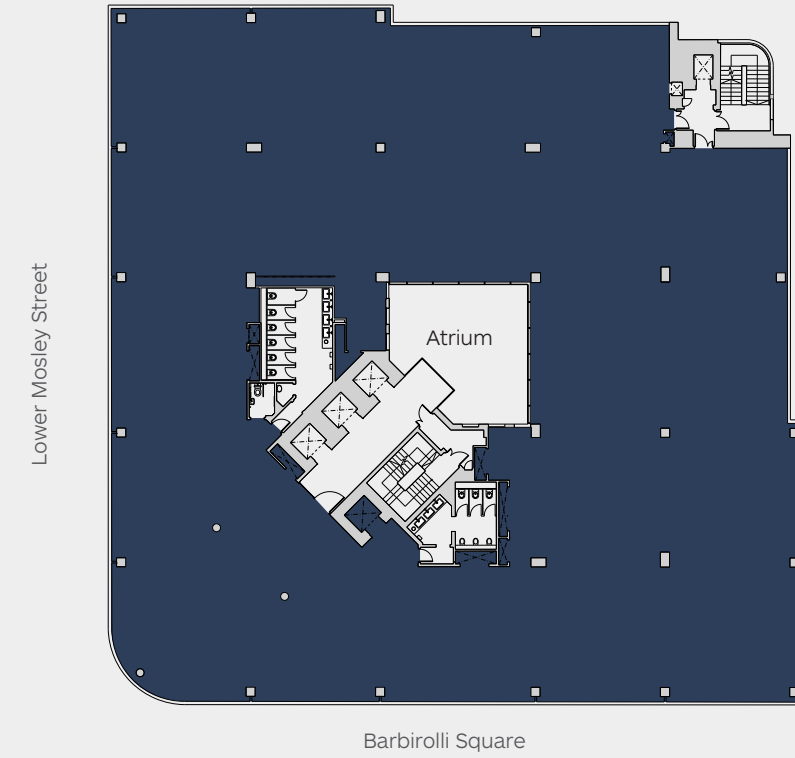




GROUND FLOOR



TYPICAL UPPER FLOOR



SIXTH FLOOR



SCHEDULE OF AREAS*

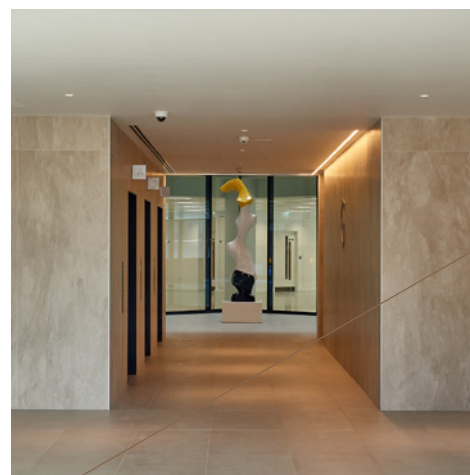
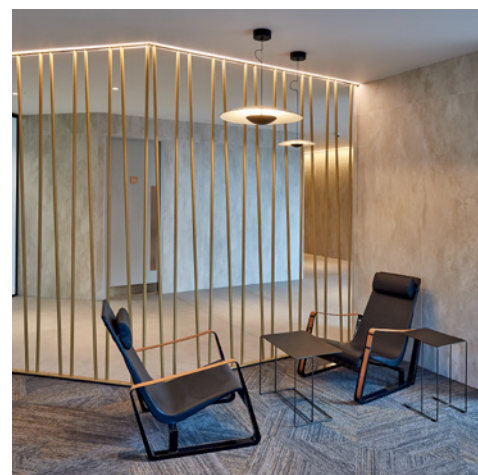
GROUND FLOOR	11,119 SQ FT
FIRST FLOOR	Let To Handelsbanken
SECOND FLOOR	Let To Handelsbanken
THIRD FLOOR	Let To Handelsbanken
FOURTH FLOOR	13,003 SQ FT
FIFTH FLOOR	12,583 SQ FT
SIXTH FLOOR	10,376 SQ FT
TOTAL AVAILABLE	47,081 SQ FT

*Subject to final measurement and verification



SPECIFICATION

- Elegant reception refurbishment
- 6th floor terrace
- VRF air conditioning system
- High-quality passenger lifts
- New raised floors throughout
- New LED lighting
- High-quality shower and changing facilities
- Extensive, secure car and bike parking





AN INSPIRATIONAL, ASPIRATIONAL VIEW

Step outside onto the sixth-floor terrace and breathe in those dazzling widescreen views across the Manchester cityscape.

An impressive head-turner for visiting clients; an uplifting head-clearer for you and your team.



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